



**NOTICE OF PUBLIC MEETING
WEDNESDAY, SEPTEMBER 3, 2025 – 6:00 P.M.
BOARD OF ADJUSTMENT MEETING
AGENDA**

- I. MEETING CALLED TO ORDER
- II. ROLL CALL
- III. APPROVAL OF MINUTES: MAY 7, 2025
- IV. REQUEST FOR VARIANCE BY MICHAEL SIMON

Appeal by Michael Simon to construct a new detached garage, which would be located approximately 1' away from a small existing covered wood deck and 6.9' away from the north side of the house, at the existing residence of 47 Berry Wood Drive in the R-1 zoning district. Section 400.070(3) of the Glendale Municipal Code requires that accessory buildings which are not part of the main building be located no closer than 10' to any other building.

- V. PUBLIC HEARING: 47 BERRY WOOD DRIVE VARIANCE REQUEST
- VI. BOARD OF ADJUSTMENT CHAIRMAN & VICE CHAIRMAN ELECTION
- VII. MISCELLANEOUS
- VIII. ADJOURNMENT

This meeting will be held at the Glendale City Hall Auditorium at 424 N. Sappington Road and will be open to the public.

Gabrielle Macaluso

Gabrielle Macaluso
Deputy City Clerk

POSTED: AUG. 29, 2025 – 3:30 P.M.



MINUTES
BOARD OF ADJUSTMENT MEETING
MAY 7, 2025 –6:00 p.m.

CALL TO ORDER

A meeting of the Board of Adjustment of the City of Glendale was held on Wednesday, May 7, 2025. Mr. Finnerty presided as acting chairman and called the meeting to order at 6:07 p.m.

ROLL CALL

Members Present

Ken Finnerty
Chairman Thomas Lane (arrived at 6:25 p.m.)
Mark Hewlett
William Smit
Susan Schoen

Alternate Members Present

John Bugee
Wrenn Kates

Also present were Frank Johnson, City Administrator; Gabby Macaluso, Deputy City Clerk; and City Attorney Allie Sievers

APPROVAL OF MINUTES

Moved by Ms. Kates, seconded by Mr. Bugee and unanimously carried, to approve the minutes from the March 5, 2025 meeting as submitted.

MEETING PROCEDURES TRAINING

City Attorney Allie Sievers led a review of the state statutes and zoning codes that define the purpose, powers and duties of the City of Glendale's Board of Adjustment. Ms. Sievers also provided definitions of key terms related to the zoning code and the function of the Board of Adjustment. Additionally, Ms. Sievers reviewed the Missouri Sunshine Law and provided tips for creating records and crafting resolutions and motions.

Ms. Sievers explained that the Board of Adjustment is the legislative review body of the City of Glendale. It primarily hears appeals to the application of the City's zoning code.

Ms. Sievers stated that the City's code requires that the Board of Adjustment elect its own Chairman and Vice Chairman each year to serve for one-year. She explained since this practice has not been followed regularly in past years, the Board should hold this election in July 2025 or at the meeting that occurs closest to this date. Mr. Johnson noted the Board would hold this election the next time it meets. The members expressed agreement.

Ms. Sievers explained that the members of the Board of Adjustment also serve as members of the Board of Appeals, which has the authority to:

- Review appeals under Zoning Code and all other assigned duties;
- Vary or modify application of any regulations or provisions of the Building Code relating to construction or alterations;
- Hear appeals from City Clerk in cases of denial of an application for or revocation of a peddler, solicitor or canvasser permit under Chapter 610 of the City Code;
- Hear any other appeal not provided for by the Personnel Appeals Board

ADJOURN

Ms. Kates motioned to adjourn the meeting. The motion was seconded by Ms. Schoen and unanimously carried to adjourn the meeting at 7:20 p.m.



424 N. Separkington Road • Glendale, Missouri 63122 • (314) 965-3600 • Fax (314) 965-9777

APPEAL TO THE BOARD OF ADJUSTMENT

APPLICANT: COACH HOUSE GARAGES DATE: 7/29/25
 PROPERTY OWNER: MICHAEL SIMON ZONING DISTRICT: R-1
 ADDRESS of PROPERTY: 47 BERRYWOOD DR Glendale, MO 63122
 TELEPHONE: Day 618 920-8938 Home 314 898-5554

Section 1: Basis for Granting Variances: CHG DENNIS SHARP MICHAEL SIMON

A variance can only be granted when the strict application of the zoning regulations of Chapter 400 of the Glendale Municipal Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property by reason of at least one of the following:

- a. *Area Variances.* When, by reason of exceptional narrowness, shallowness or shape of a specific piece of property on April 24, 1963, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the neighborhood, the strict application of the area regulations of this Chapter would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property, the Board is hereby empowered to authorize upon an appeal relating to such property, a variation from such strict application so as to relieve such difficulty or hardships.
- b. *Use Variances.* The Board of Adjustment is empowered to grant use variances only upon findings that all of the following five factors are established.
 1. The applicant will be deprived of all beneficial use of the property under any of the permitted uses in the zoning district in which the property is located, all beneficial use being lost only where the property is not suitable for any use permitted in the City's zoning ordinance for that zoning district, and
 2. The applicant has sufficiently demonstrated unnecessary hardship by expert testimony and/or documentation and not mere conclusionary or lay opinion that the property in question cannot yield a reasonable return if used only for a purpose or purposes permitted in the zoning district in which that property is located, and
 3. The plight of the owner is due to exceptional or unique circumstances and not due to general conditions in the neighborhood, and
 4. The use to be authorized by the variance would not alter the essential character of the neighborhood, and
 5. The proposed use to be authorized by the use variance would not constitute a change in the district map, impair an adequate supply of light and air to adjacent property, increase congestion in public streets, increase the danger of fire, materially diminish or impair established property values within the surrounding area and would not in any other respect impair the public health, safety, comfort, morals and welfare of the City.

For details of the Board's authority to grant a variance, see Sections 400.910-400.970 of the Glendale Code

Please note that the desire to use certain space, whether interior or exterior, in a particular manner is not a basis for the Board to grant a variance.

Section 2: Explanation for Applicant's Appeal

Please explain the basis for the appeal. In order to qualify for a variance, you must provide information as to why the variance request fits within at least one of the reasons under Section 1 above.

NEW DETACHED GARAGE ADDITION SITE LOCATION RESTRICTIONS. HARSHIP DUE TO SEWER EASEMENT FORCING DIMENSIONS UNDER 10' FROM EXIST RESIDENCE.

REQUESTING APPROVAL TO PROVIDE FIREWALL BETWEEN STRUCTURES.

REVISED DRAWINGS SUBMISSION PACKAGE ATTACHED. HARD COPIES TO FOLLOW VIA HAND DELIVERY.

The Board of Adjustment meeting is the first Wednesday of every month at 6:00 p.m. Along with the \$100.00 application fee, the following must be submitted:

- 1.) The reason(s) for the variance under the Board's authority (see above).
- 2.) Ten (10) copies of scaled drawings to include an existing survey, site plan and any other construction drawings
- 3.) Photographs of both the owner's property and the adjacent property or properties relevant to the property line and setback requirements in question. Photographs should include existing structures and other existing site improvements relevant to the property line.

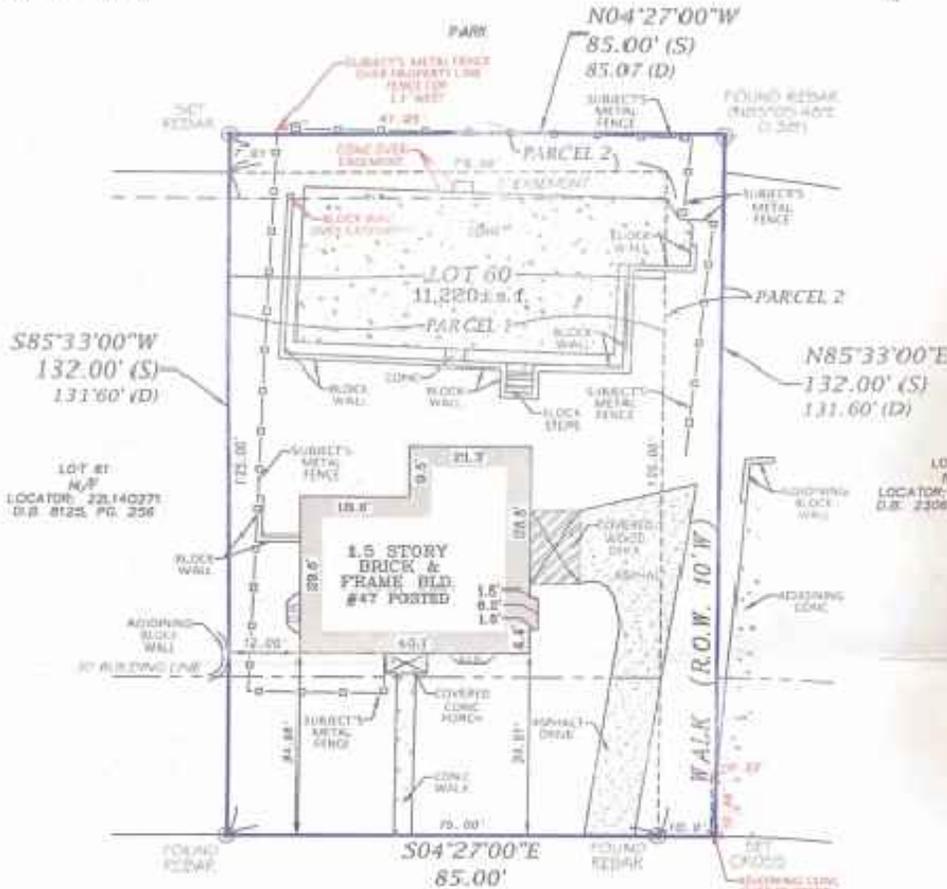
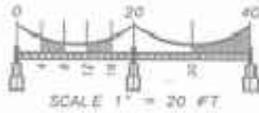
updated 9-19

Peach House GARAGES
D. SWARTZ

BOUNDARY RETRACEMENT AND IMPROVEMENT SURVEY

47 BERRY WOOD DRIVE

LOT 60 AND A STRIP OF LAND ABUTTING TO AND JOINING LOT 60 OF ALGONDUR RIDGE NO. 2 PLAT BOOK 34, PAGE 22 ST. LOUIS COUNTY, MISSOURI



TITLE NOTES
 FOR THE SOURCE OF PROPERTY DESCRIPTION EASEMENTS, DEDICATIONS AND EXCEPTIONS, ALTEA, LLC FIELD SURVEY HAS USED THE TITLE DOCUMENTS PROVIDED BY STEWART TITLE GUARANTY COMPANY & SELECT TITLE BROKER LLC FILE COMMITMENT NUMBER ST-2025-03-0152-304

1) EASEMENT GRANTED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT PER 4525-475, THE EASEMENT DESCRIPTION AS RECORDED DOES NOT PROVIDE ANY SITE OR LOCATIONS REFERENCED TO THE BOUNDARY LINES AND THEREFORE CANNOT BE GRAPHICALLY PLOTTED.

2) EASEMENT GRANTED TO UNION ELECTRIC PER 8125-553, NOT LOCATED ON SUBJECT PROPERTY.

3) EASEMENT GRANTED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT PER 8100-1261, NOT LOCATED ON SUBJECT PROPERTY.

BERRY WOOD DRIVE (R.O.W. 50' W)

BASIS OF BEARINGS
 ALGONDUR RIDGE NO. 2
 PLAT BOOK 34, PAGE 22

LINE TYPES	
	CHAIN FENCE EASEMENT
	LINE
	SETBACK LINE
	PARCEL LINE
	UTILITY
	BOUNDARY LINE
	WOOD VINYL FENCE
	METAL FENCE
	WIRE FENCE
	BUILDING
	FOOTPRINT
	CENTERLINE

1" = 20'00" (S) 132.00' (S) 131.60' (D)
 LOT 60
 N/T
 LOCATOR: 228140371
 D.B. 8125, PG. 256

CONTROLLING CORNERS USED:
 1) - NORTHWEST CORNER LOT 60
 2) - NORTHWEST CORNER LOT 41
 3) - NORTHWEST CORNER LOT 51

SURVEYOR'S STATEMENT
 AT THE REQUEST OF MICHAEL E. SIMON, DANIEL W. SIMON, STEWART TITLE GUARANTY COMPANY AND SELECT TITLE GROUP LLC, ALTEA, LLC HAS DURING THE MONTH OF MAY 2025, EXECUTED A BOUNDARY RETRACEMENT & IMPROVEMENT SURVEY OF LOT 60 AND A STRIP OF LAND ABUTTING TO AND JOINING LOT 60 OF ALGONDUR RIDGE NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 34, PAGE 22 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDINGS BEING ANOMALOUSLY DEPICTED HEREON IS FROM THE RECORD PLAT OF CITY OR CO. MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONNECTION WITH THIS SURVEY. THE ORIGIN OF THE ORIGIN OF THE POINTS SHOWN HEREON IS FROM EVIDENCE OBTAINED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE FENCE CONSTRUCTION, OCCUPANT TESTIMONY OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE DESIGN OR OWNERSHIP OF FENCES. THIS BOUNDARY SURVEY IS NON TRANSFERABLE. DUE TO EACH MUNICIPALITY HAVING DIFFERENT ZONING SETBACK REQUIREMENTS, OVERLAPPS SHOWN ON THIS SURVEY MAY BE IN VIOLATION THAT THE SURVEYOR IS NOT AWARE OF AND MAKES NO WARRANTIES TO THIS EFFECT.

AS AGENT OF ALTEA, LLC
 DATE: 5-27-25



PROJECT NUMBER:	25-1061-0
SHEET:	1 OF 1
FILED UNDER:	CDM-512/25
DATE:	LD/ST
ISSUED ON:	5/13/2025
REVISION:	BLV
REVISED ON:	5/13/2025

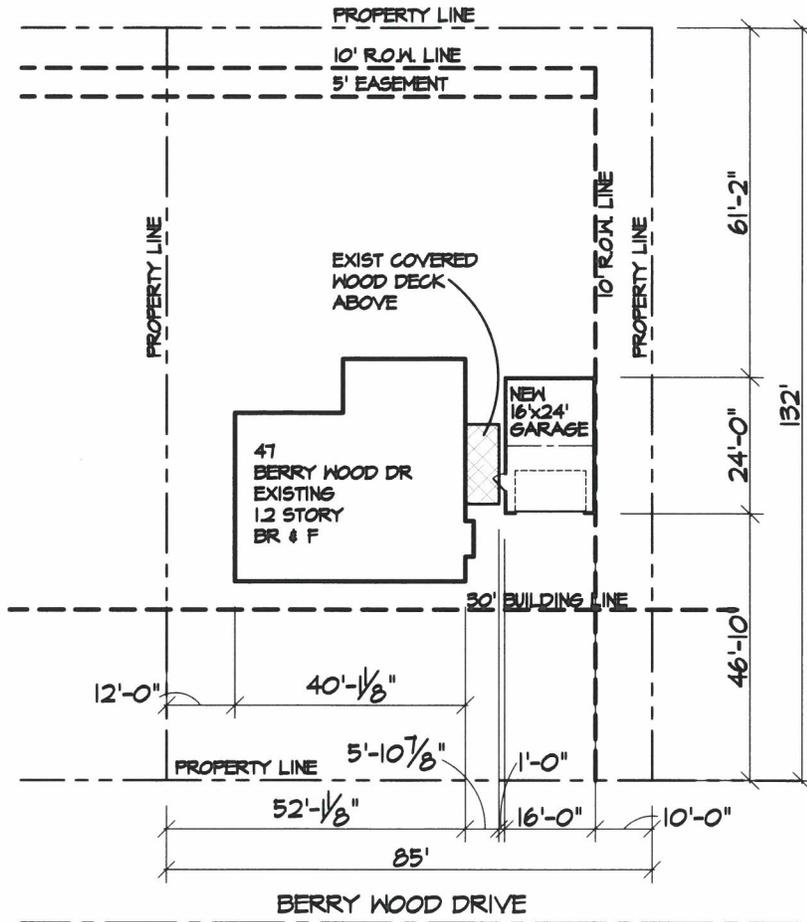


GARAGE ADDITION
 MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122



700 Mill St.
 Arthur IL 61911
 Phone: 217-543-3761
 FAX: 217-543-3350

SHEET NO:
A0
 ISSUE DATE:
 7-25-2025



ARCHITECTURAL SITE PLAN 
SCALE 1" = 40'-0"

GARAGE ADDITION
 MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122



700 Mill St.
 Arthur IL 61911
 Phone: 217-543-3761
 FAX: 217-543-3350

SHEET NO:
A0.1
 ISSUE DATE:
 7-25-2025



Google

GARAGE ADDITION

*MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122*

 **Coach House Garages**
MORE THAN JUST A GARAGE...IT'S A COACH HOUSE

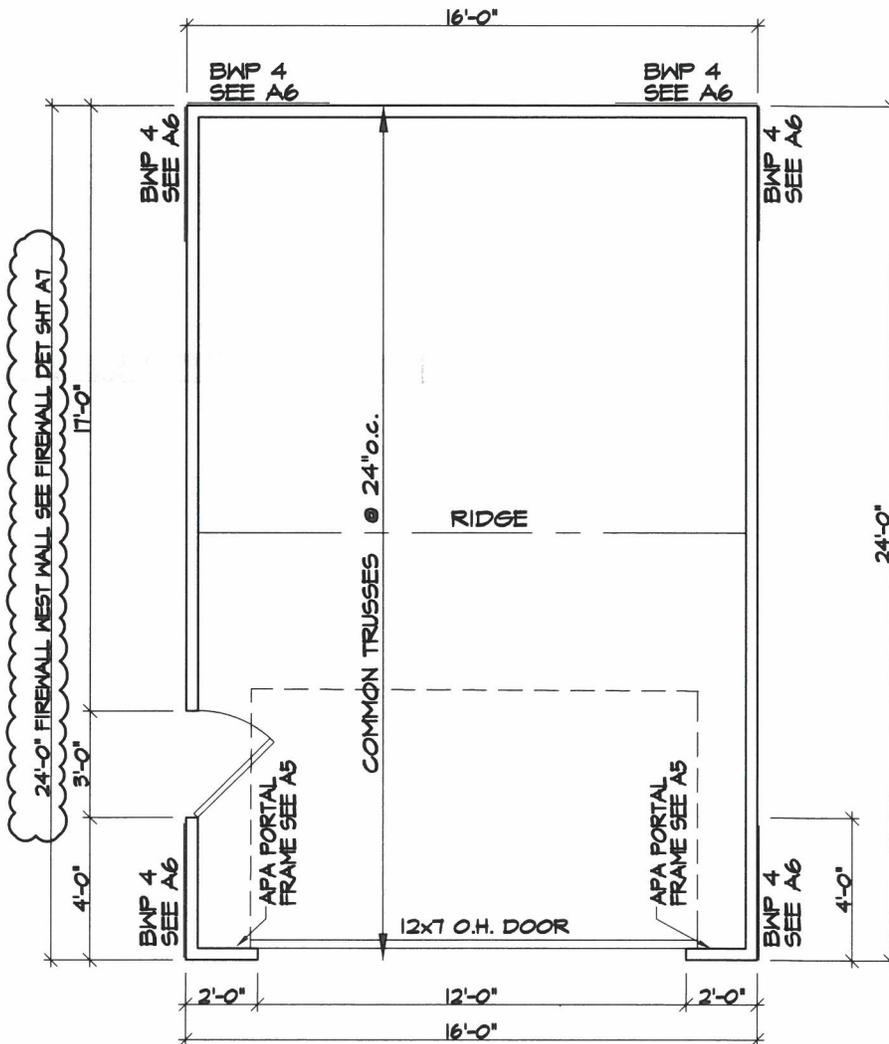
700 Mill St.
Arthur IL 61911
Phone: 217-543-3761
FAX: 217-543-3350

NEWLY ISSUED
PHOTO VIEW
LOOKING
NORTH FROM
BERRY WOOD
DRIVE

SHEET NO:

A0.2

ISSUE DATE:
7-29-2025



FLOOR PLAN

SCALE 3/16" = 1'-0"

GARAGE ADDITION

MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122



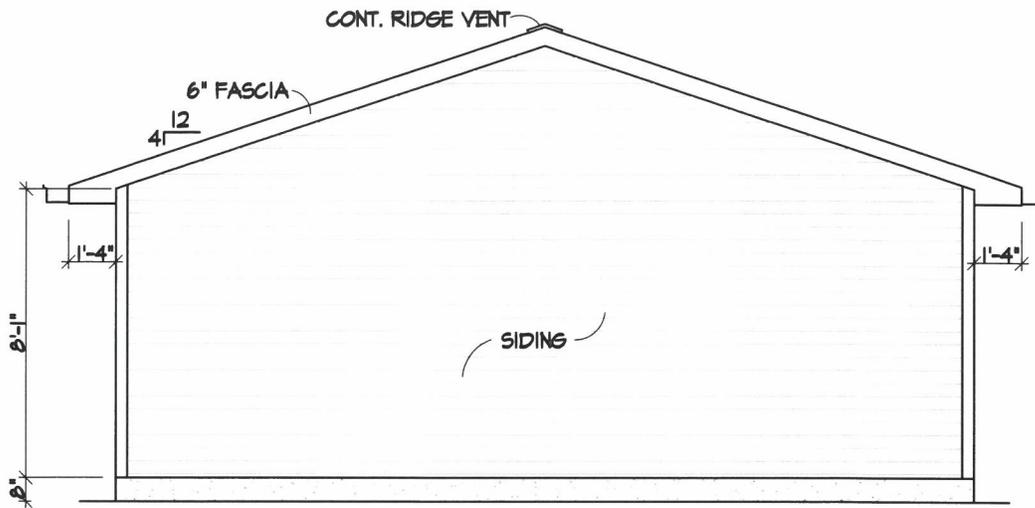
700 Mill St.
Arthur IL 61911
Phone: 217-543-3761
FAX: 217-543-3350

REV 7-29-25

SHEET NO:

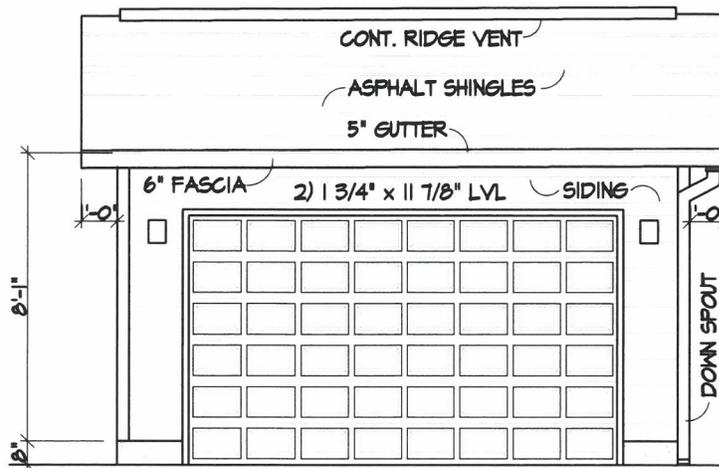
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ISSUE DATE:
7-25-2025



RIGHT ELEVATION

SCALE 3/16" = 1'-0"



FRONT ELEVATION

SCALE 3/16" = 1'-0"

GARAGE ADDITION

MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122

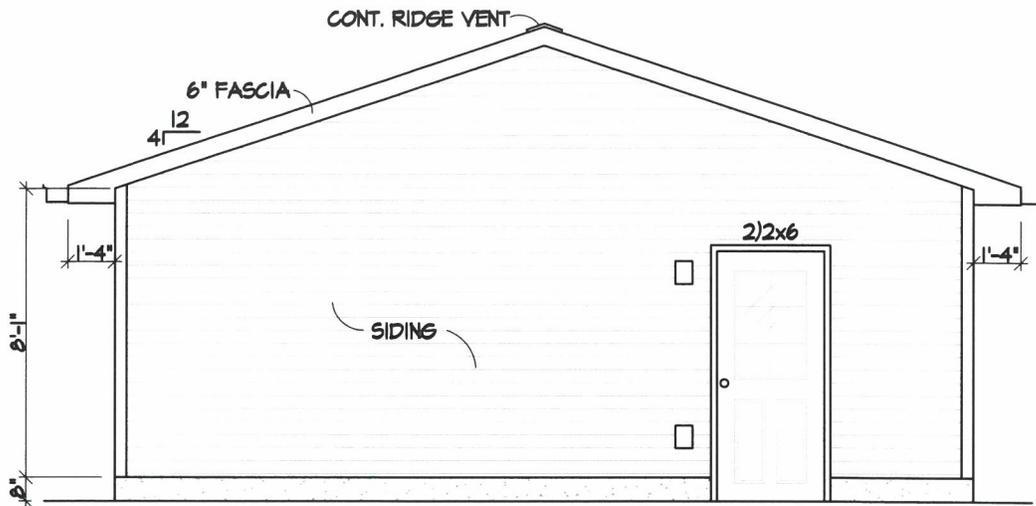


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FAX-217-543-3350

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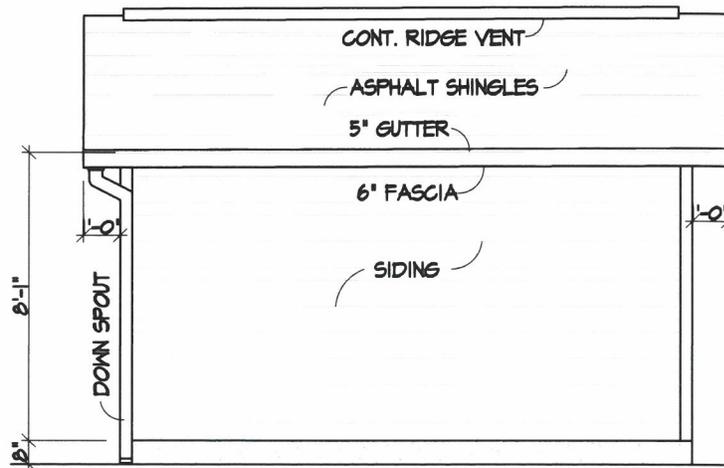
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ISSUE DATE:
7-25-2025



LEFT ELEVATION

SCALE 3/16" = 1'-0"



BACK ELEVATION

SCALE 3/16" = 1'-0"

GARAGE ADDITION

MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122

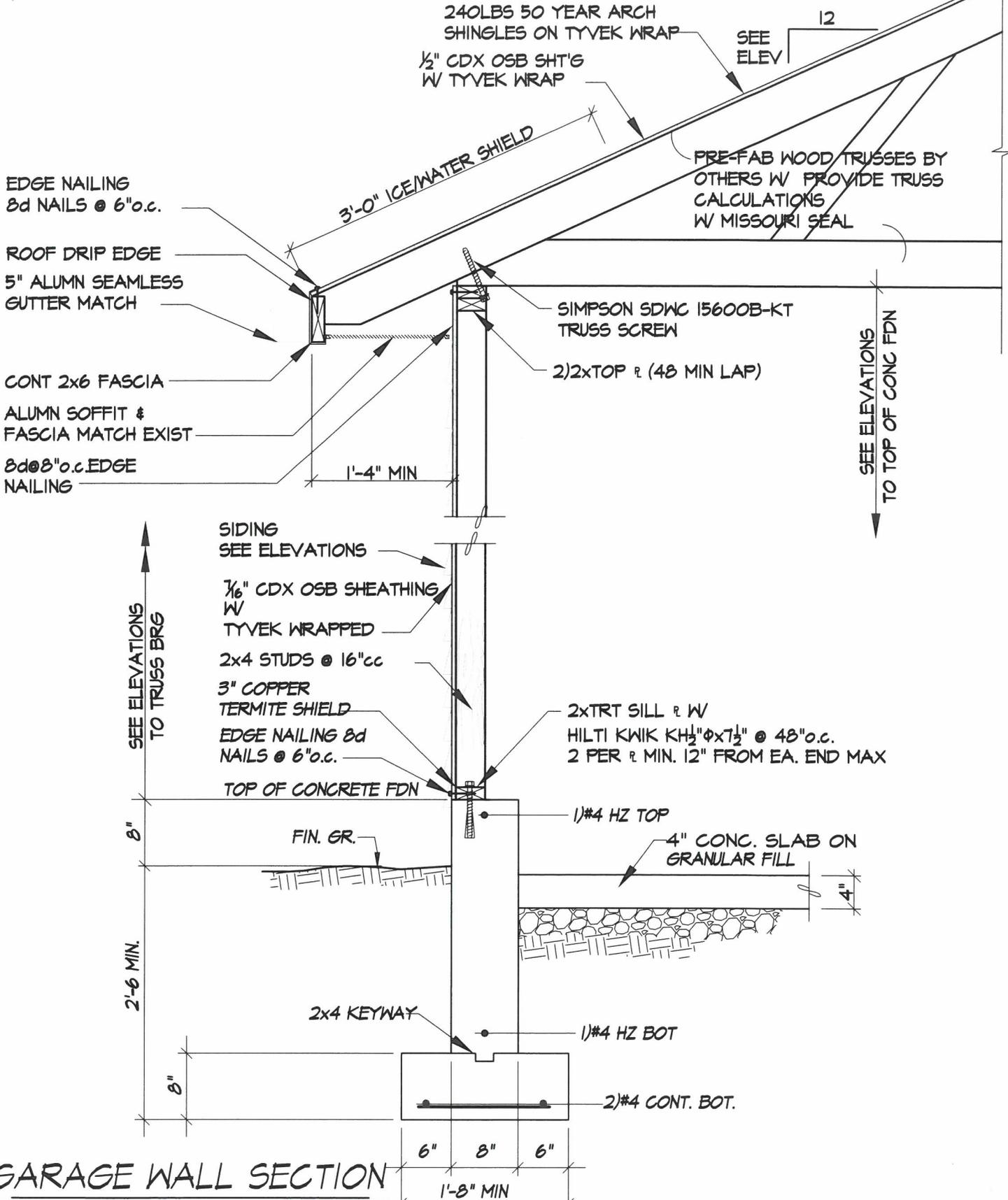


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A2.1

ISSUE DATE:
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GARAGE WALL SECTION

GARAGE ADDITION

MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122

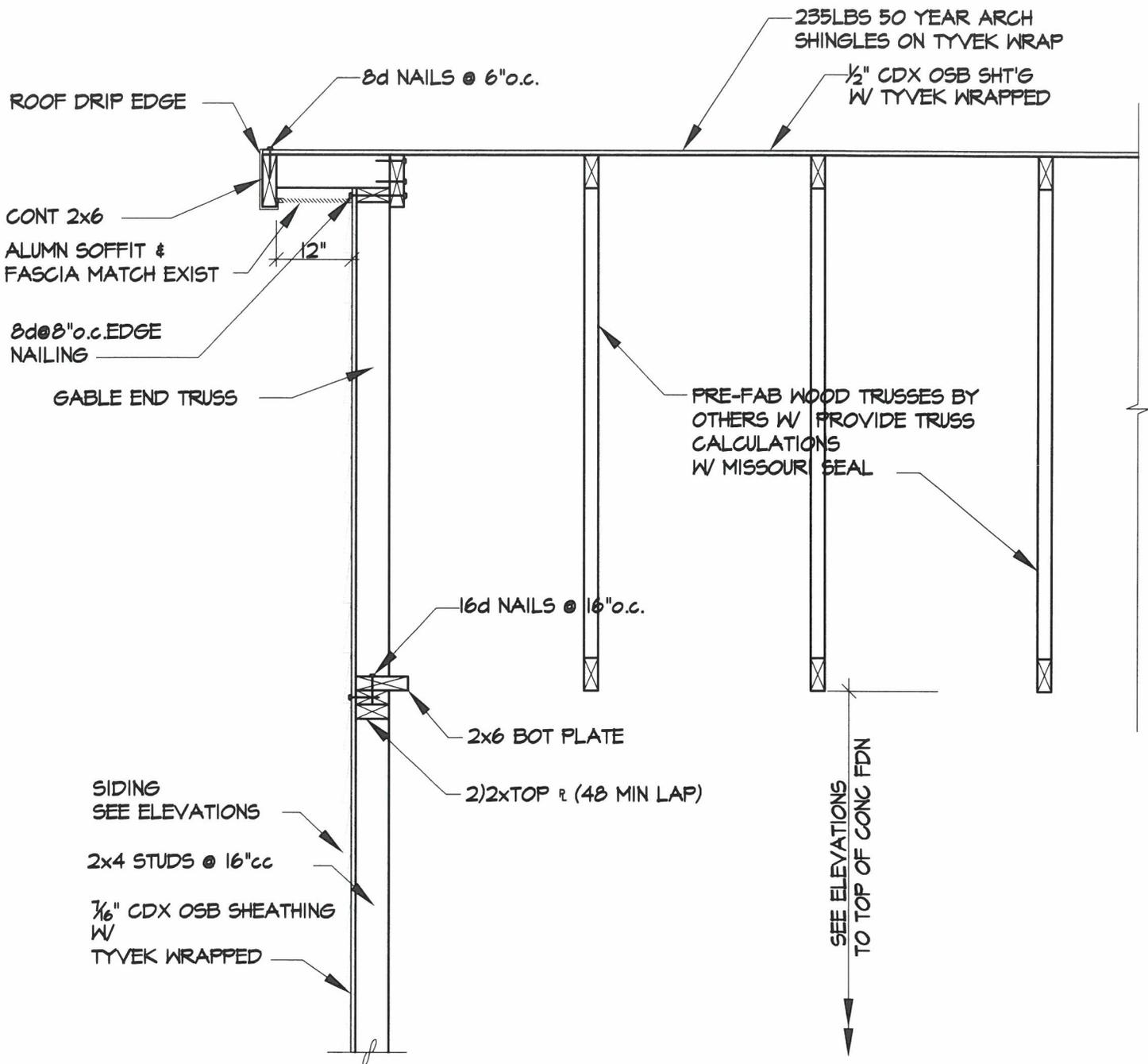


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A3

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GARAGE END WALL SECTION

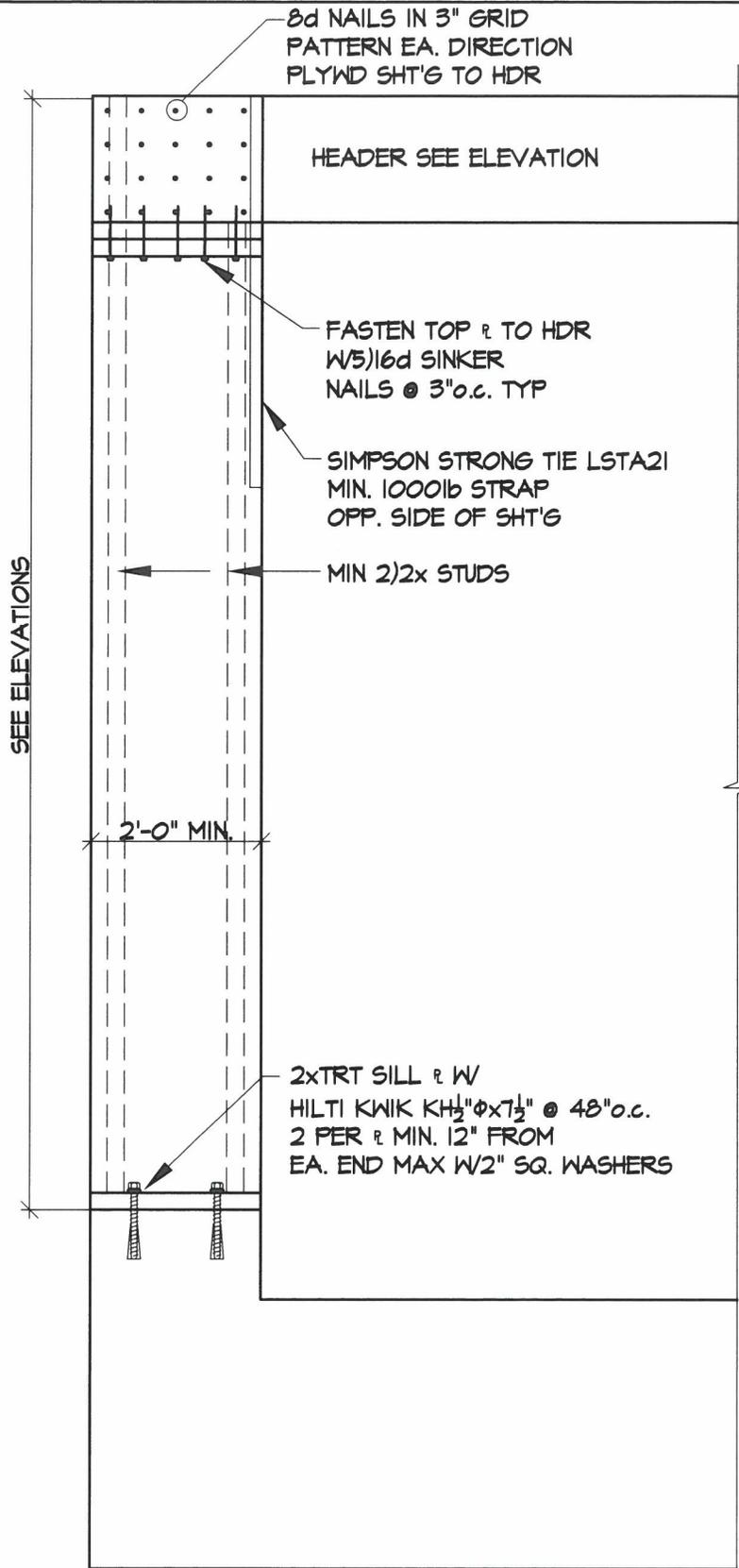
GARAGE ADDITION
 MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122



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A4

ISSUE DATE:
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APA PORTAL FRAME DETAIL

GARAGE ADDITION

MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122

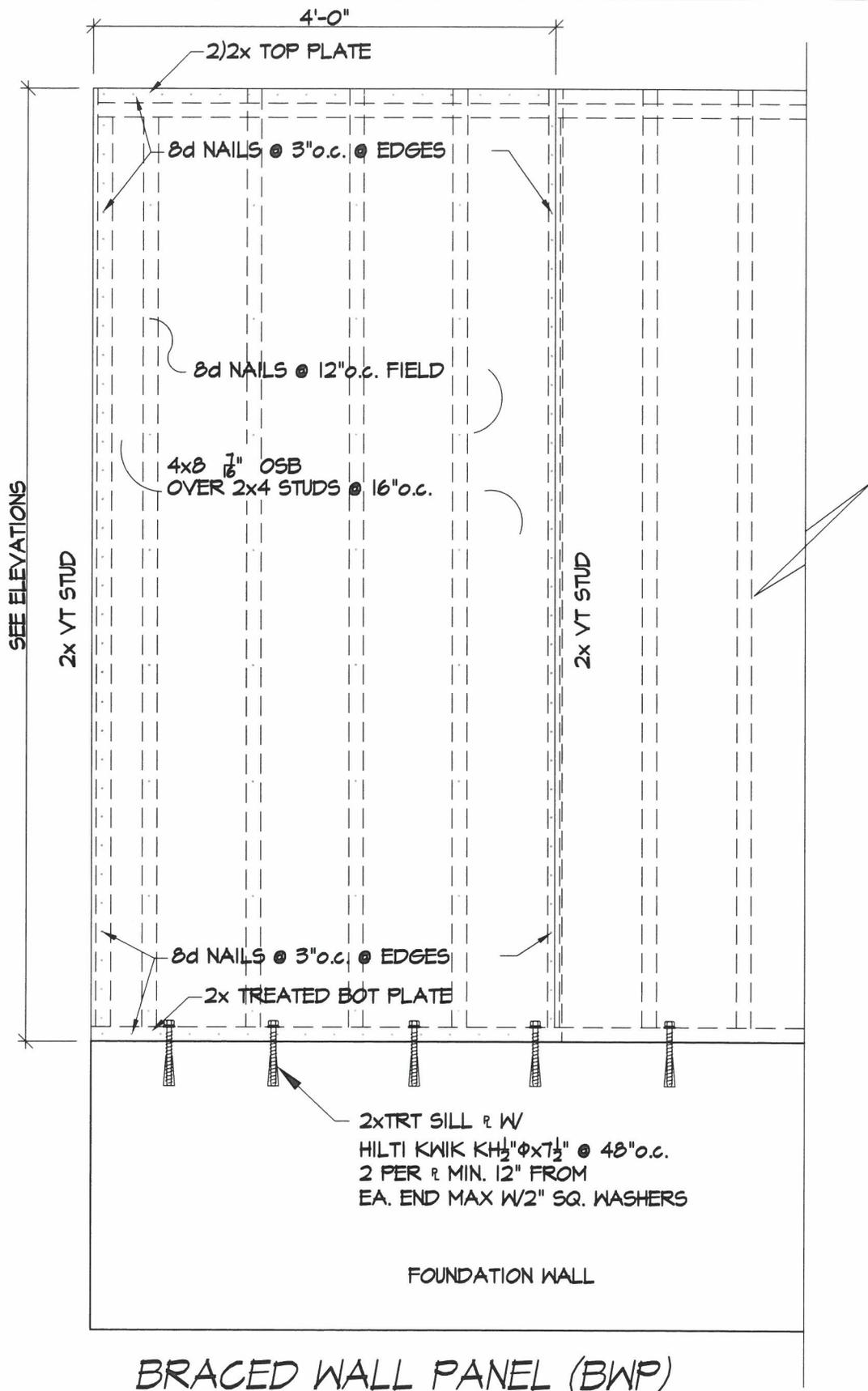


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A5

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BRACED WALL PANEL (BWP)

GARAGE ADDITION

MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122

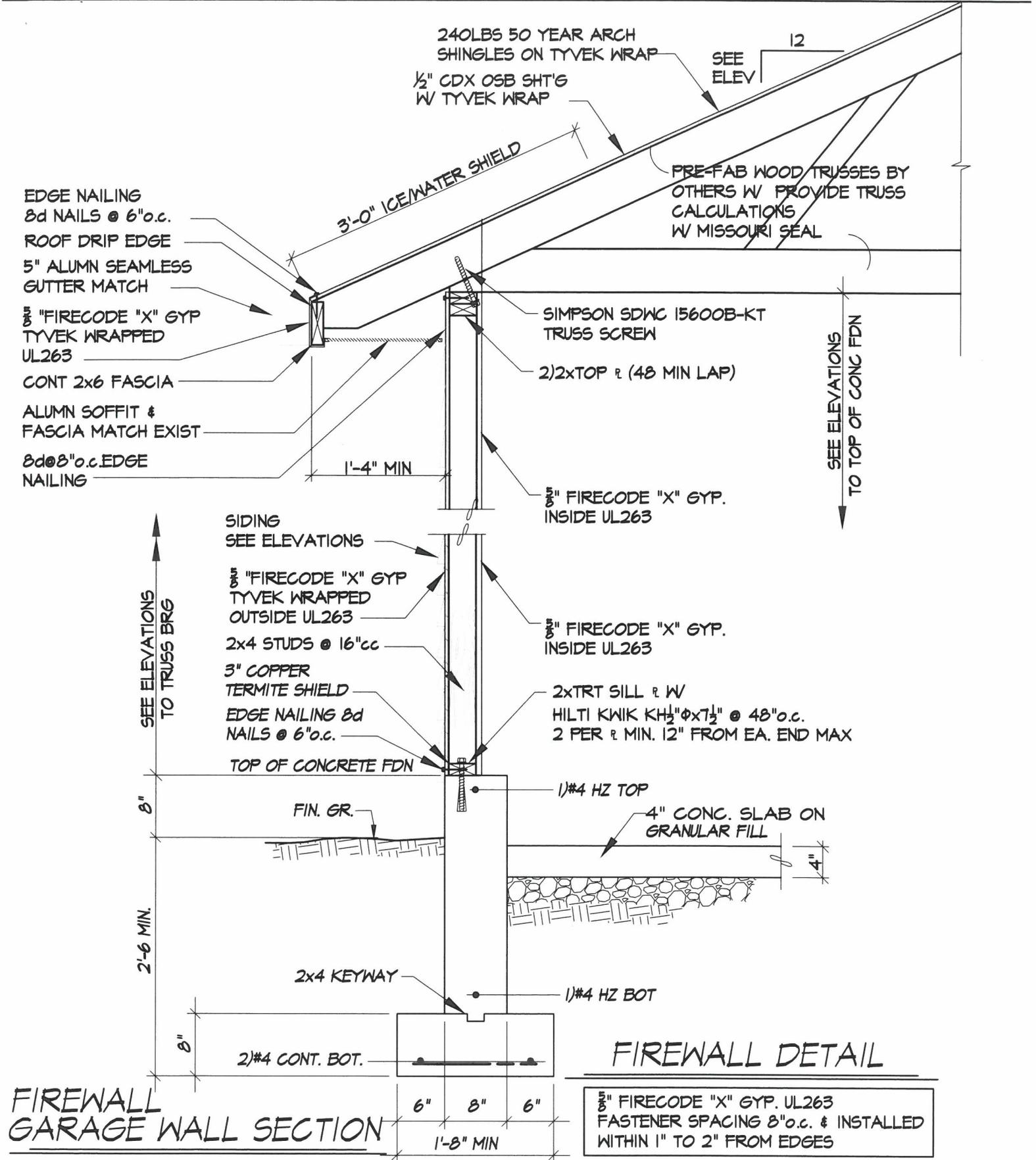


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FAX: 217-543-3350

SHEET NO:

A6

ISSUE DATE:
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FIREWALL GARAGE WALL SECTION

GARAGE ADDITION
 MICHAEL SIMON
 47 BERRY WOOD DR
 GLENDALE MO 63122



700 Mill St.
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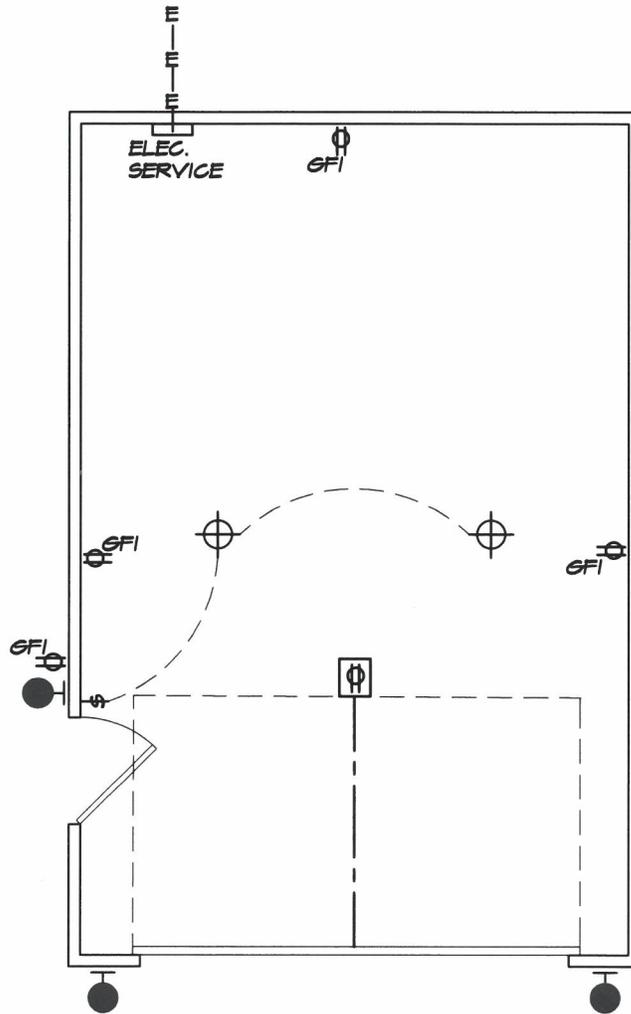
NEWLY ISSUED
 FIREWALL DET

SHEET NO:
A7
 ISSUE DATE:
 7-29-2025

ELECTRICAL LEGEND

-  DUPLEX ELECTRICAL OUTLET
GFI GROUND FAULT INTERRUPTER
-  CLG. MTD. ELECTRICAL OUTLET
FOR O.H. DOOR OPENER
-  SWITCH

-  ELECTRICAL RUN
-  SURFACE MOUNTED LIGHT
FIXTURE
-  WALL MOUNTED EXTERIOR LIGHT
FIXTURE ON MOTION SENSORS
AS SELECTED BY OWNER



ELECTRICAL PLAN

SCALE 3/16" = 1'-0"

GARAGE ADDITION

MICHAEL SIMON
47 BERRY WOOD DR
GLENDALE MO 63122

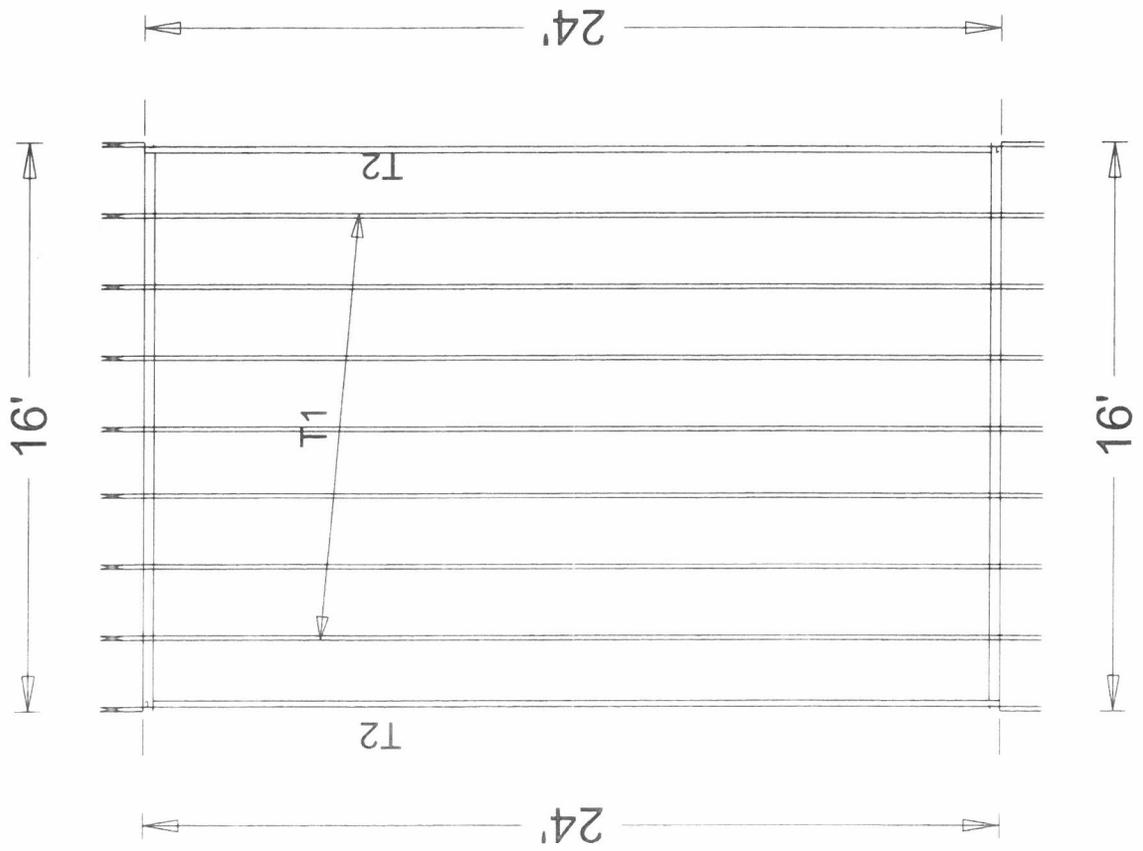


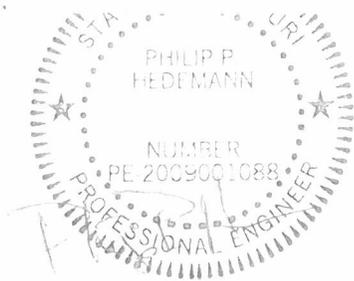
700 Mill St.
Arthur IL 61911
Phone: 217-543-3761
FAX: 217-543-3350

SHEET NO:

E1

ISSUE DATE:
7-25-2025





MO COA #2005000817



Alpine, an ITW company
 155 Harlem Ave.
 North Building, 4th Floor
 Glenview, IL 60025
 Phone: (800)326-4102 (314)344-9121
 alpineitw.com

Site Information:	Page 1:
Customer: Coach House Garages	Job Number: Michael Simon
Job Description:	
Address:	

Job Engineering Criteria:	
Design Code: IRC 2021	IntelliVIEW Version: 24.02.00B JRef #: 1YbX66790003
Wind Standard: ASCE 7-16 Wind Speed (mph): 115	Design Loading (psf): 50.00
Building Type: Closed	

This package contains general notes pages, 2 truss drawing(s) and 3 detail(s).

Item	Drawing Number	Truss
1	205.25.1447.22877	T1 24' Common
3	A11515ENC160118	
5	GBLLETIN0118	

Item	Drawing Number	Truss
2	205.25.1447.27020	T2 24' Gable
4	GABRST160118	

General Notes

Truss Design Engineer Scope of Work, Design Assumptions and Design Responsibilities:

The design responsibilities assumed in the preparation of these design drawings are those specified in ANSI/TPI 1, Chapter 2; and the National Design Standard for Metal Plate Connected Wood Truss Construction, by the Truss Plate Institute. The truss component designs conform to the applicable provisions of ANSI/TPI 1 and NDS, the National Design Specification for Wood Construction by AWC. The truss component designs are based on the specified loading and dimension information furnished by others to the Truss Design Engineer. The Truss Design Engineer has no duty to independently verify the accuracy or completeness of the information provided by others and may rely on that information without liability. The responsibility for verification of that information remains with others neither employed nor controlled by the Truss Design Engineer. The Truss Design Engineer's seal and signature on the attached drawings, or cover page listing these drawings, indicates acceptance of professional engineering responsibility solely for the truss component designs and not for the technical information furnished by others which technical information and consequences thereof remain their sole responsibility.

The suitability and use of these drawings for any particular structure is the responsibility of the Building Designer in accordance with ANSI/TPI 1 Chapter 2. The Building Designer is responsible for determining that the dimensions and loads for each truss component match those required by the plans and by the actual use of the individual component, and for ascertaining that the loads shown on the drawings meet or exceed applicable building code requirements and any additional factors required in the particular application. Truss components using metal connector plates with integral teeth shall not be placed in environments that will cause the moisture content of the wood in which plates are embedded to exceed 19% and/or cause corrosion of connector plates and other metal fasteners.

The Truss Design Engineer shall not be responsible for items beyond the specific scope of the agreed contracted work set forth herein, including but not limited to: verifying the dimensions of the truss component, calculation of any of the truss component design loads, inspection of the truss components before or after installation, the design of temporary or permanent bracing and their attachment required in the roof and/or floor systems, the design of diaphragms or shear walls, the design of load transfer connections to and from diaphragms and shear walls, the design of load transfer to the foundation, the design of connections for truss components to their bearing supports, the design of the bearing supports, installation of the truss components, observation of the truss component installation process, review of truss assembly procedures, sequencing of the truss component installation, construction means and methods, site and/or worker safety in the installation of the truss components and/or its connections.

This document may be a high-quality facsimile of the original engineering document which is a digitally signed electronic file with third party authentication. A wet or embossed seal copy of this engineering document is available upon request.

Temporary Lateral Restraint and Bracing:

Temporary lateral restraint and diagonal bracing shall be installed according to the provisions of BCSI chapters B1, B2, B7 and/or B10 (Building Component Safety Information, by TPI and SBCA), or as specified by the Building Designer or other Registered Design Professional. The required locations for lateral restraint and/or bracing depicted on these drawings are only for the permanent lateral support of the truss members to reduce buckling lengths, and do not apply to and may not be relied upon for the temporary stability of the truss components during their installation.

Permanent Lateral Restraint and Bracing:

The required locations for lateral restraint or bracing depicted on these drawings are for the permanent lateral support of the truss members to reduce buckling lengths. Permanent lateral support shall be installed according to the provisions of BCSI chapters B3, B7 and/or B10, or as specified by the Building Designer or other Registered Design Professional. These drawings do not depict or specify installation/erection bracing, wind bracing, portal bracing or similar building stability bracing which are parts of the overall building design to be specified, designed, and detailed by the Building Designer.

Connector Plate Information:

Alpine connector plates are made of ASTM A653 or ASTM A1063 galvanized steel with the following designations, gauges and grades: W=Wave, 20ga, grade 40; H=High Strength, 20ga, grade 60; S=Super Strength, 18ga, grade 60. Information on model code compliance is contained in the ICC Evaluation Service report ESR-1118, available on-line at www.icc-es.org.

Bearing Information:

The bearing area factor, C_b , is considered for the allowable capacity of solid sawn wood bearings supporting trusses that are located a minimum of 3" from the end of the lumber piece.

General Notes (continued)

Coated Lumber:

Coated lumber must be properly re-dried and maintained below 19% or less moisture level through all stages of construction and usage. Coated lumber has no adjustments to lumber properties. Coated lumber may be more brittle than uncoated lumber. Special handling care must be taken to prevent breakage during all handling activities. Refer to manufacturer literature, specifications, and code evaluation reports for restrictions, details, and requirements.

Fire Retardant Treated Lumber:

Fire retardant treated lumber must be properly re-dried and maintained below 19% or less moisture level through all stages of construction and usage. Fire retardant treated lumber may be more brittle than untreated lumber. Special handling care must be taken to prevent breakage during all handling activities.

Key to Terms:

Information provided on drawings reflects a summary of the pertinent information required for the truss design. Detailed information on load cases, reactions, member lengths, forces and members requiring permanent lateral support may be found in calculation sheets available upon written request.

BCDL = Bottom Chord standard design Dead Load in pounds per square foot.

BCLL = Bottom Chord standard design Live Load in pounds per square foot.

C = Coated lumber.

C-AT = AtTEK coated lumber.

C-FX = FX Lumber Guard coated lumber.

C-TE = TechWood 4400 coated lumber.

CL = Certified lumber.

Des Ld = total of TCLL, TC DL, BCLL and BCDL Design Load in pounds per square foot.

FRT = Fire Retardant Treated lumber.

FRT-BF = Boraflame Fire Retardant Treated lumber

FRT-DB = D-Blaze Fire Retardant Treated lumber.

FRT-DC = Dricon Fire Retardant Treated lumber.

FRT-FP = FirePRO Fire Retardant Treated lumber.

FRT-FL = FlamePRO Fire Retardant Treated lumber.

FRT-FT = FlameTech Fire Retardant Treated lumber.

FRT-ON = OnWood Fire Retardant Treated lumber.

FRT-PG = PYRO-GUARD Fire Retardant Treated lumber.

FRT-PR = ProWood Fire Retardant Treated lumber.

g = green lumber.

HORZ(LL) = maximum Horizontal panel point deflection due to Live Load, in inches.

HORZ(TL) = maximum Horizontal panel point long term deflection in inches, due to Total Load, including creep adjustment.

HPL = additional Horizontal Load added to a truss Piece in pounds per linear foot or pounds.

Ic = Incised lumber.

FJ = Finger Jointed lumber.

L/# = user specified divisor for limiting span/deflection ratio for evaluation of actual L/defl value.

L/defl = ratio of Length between bearings, in inches, divided by the vertical Deflection due to creep, in inches, at the referenced panel point. Reported as 999 if greater than or equal to 999.

Loc = Location, starting location of left end of bearing or panel point (joint) location of deflection.

Max BC CSI = Maximum bending and axial Combined Stress Index for Bottom Chords for all load cases

Max TC CSI = Maximum bending and axial Combined Stress Index for Top Chords for all load cases.

Max Web CSI = Maximum bending and axial Combined Stress Index for Webs for all load cases.

NCBCLL = Non-Concurrent Bottom Chord design Live Load in pounds per square foot.

PL = additional Load applied at a user specified angle on a truss Piece in pounds per linear foot or pounds.

PLB = additional vertical load added to a Bottom chord Piece of a truss in pounds per linear foot or pounds

PLT = additional vertical load added to a Top chord Piece of a truss in pounds per linear foot or pounds.

PP = Panel Point.

R = maximum downward design Reaction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

-R = maximum upward design Reaction, in pounds, from all specified gravity load cases, at the identified location (Loc).

Rh = maximum horizontal design Reaction in either direction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

RL = maximum horizontal design Reaction in either direction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

General Notes (continued)

Key to Terms (continued):

R_w = maximum downward design Reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the identified location (Loc).

TCDL = Top Chord standard design Dead Load in pounds per square foot.

TCLL = Top Chord standard design Live Load in pounds per square foot.

U = maximum Upward design reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

VERT(CL) = maximum Vertical panel point deflection in inches due to Live Load and Creep Component of Dead Load in inches.

VERT(CTL) = maximum Vertical panel point deflection ratios due to Live Load and Creep Component of Dead Load, and maximum long term Vertical panel point deflection in inches due to Total load, including creep adjustment.

VERT(LL) = maximum Vertical panel point deflection in inches due to Live Load.

VERT(TL) = maximum Vertical panel point long term deflection in inches due to Total load, including creep adjustment.

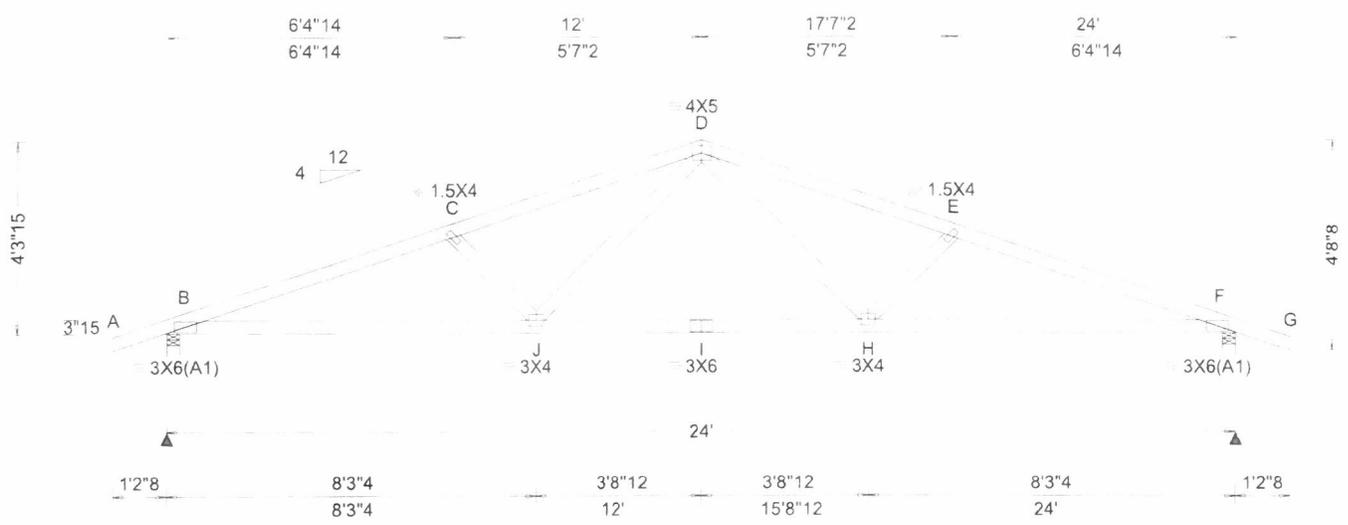
W = Width of non-hanger bearing, in inches.

Refer to ASCE-7 for Wind and Seismic abbreviations.

Uppercase Acronyms not explained above are as defined in TPI 1.

References:

1. AWC: American Wood Council; 222 Catoctin Circle SE, Suite 201; Leesburg, VA 20175; www.awc.org.
2. ICC: International Code Council; www.iccsafe.org.
3. Alpine, a division of ITW Building Components Group Inc.: 155 Harlem Ave, North Building, 4th Floor, Glenview, IL 60025; www.alpineitw.com.
4. TPI: Truss Plate Institute, 2670 Crain Highway, Suite 203, Waldorf, MD 20601; www.tpinst.org.
5. SBCA: Wood Truss Council of America, 6300 Enterprise Lane, Madison, WI 53719; www.sbcacomponents.com



Loading Criteria (psf)

TCLL:	30.00
TCDL:	10.00
BCLL:	0.00
BCDL:	10.00
Des Ld:	50.00
NCBCLL:	10.00
Soffit:	2.00
Load Duration:	1.15
Spacing:	24.0"

Wind Criteria

Wind Std: ASCE 7-16
 Speed: 115 mph
 Enclosure: Closed
 Risk Category: II
 EXP: C Kzt: NA
 Mean Height: 15.00 ft
 TCCL: 0.0 psf
 BCDL: 0.0 psf
 MWFRS Parallel Dist: 0 to h/2
 C&C Dist a: 3.00 ft
 Loc. from endwall: Any
 GCpi: 0.18
 Wind Duration: 1.33

Snow Criteria (Pg.Pf in PSF)

Pg: 30.0 Ct: 1.10 CAT: II
 Pf: 23.1 Ce: 1.0
 Lu: - Cs: 1.00
 Snow Duration: 1.15

Building Code: IRC 2021
 TPI Sid: 2014
 Rep Fac: Yes
 FT/RT: 20(0)/10(0)
 Plate Type(s): WAVE

Defl/CSI Criteria

PP Deflection in loc L/def L/#
 VERT(LL): 0.151 D 999 240
 VERT(CL): 0.250 D 999 180
 HORZ(LL): 0.046 F - -
 HORZ(TL): 0.077 F - -
 Creep Factor: 2.0
 Max TC CSI: 0.428
 Max BC CSI: 0.979
 Max Web CSI: 0.139

VIEW Ver: 24.02.00B.1106.21

Maximum Reactions (lbs)

Loc	Gravity			Non-Gravity		
	R+	/R-	/Rh	/Rw	/U	/RL
B	1316	-	-	1522	1358	148
F	1316	-	-	1522	1358	-

Wind reactions based on MWFRS
 B Brg Wid = 3.5 Min Req = 1.6 (Truss)
 F Brg Wid = 3.5 Min Req = 1.6 (Truss)
 Bearings B & F are a rigid surface.
 Members not listed have forces less than 375#

Maximum Top Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
B - C	1179 -2808	D - E	1067 -2468
C - D	1067 -2468	E - F	1179 -2808

Lumber
 Top chord: 2x4 SP #1;
 Bot chord: 2x4 SP #1;
 Webs: 2x4 SP #1;

Purlins
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

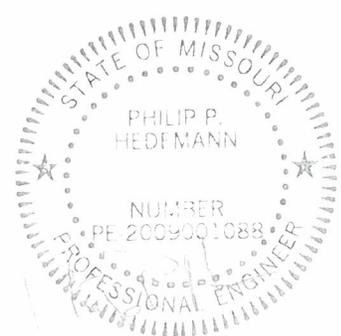
Chord	Spacing(in oc)	Start(ft)	End(ft)
BC	92	0.15	23.85

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
 Bottom chord checked for 10.00 psf non-concurrent live load.

Wind
 Wind loads based on MWFRS with additional C&C member design.
 Wind loading based on both gable and hip roof types

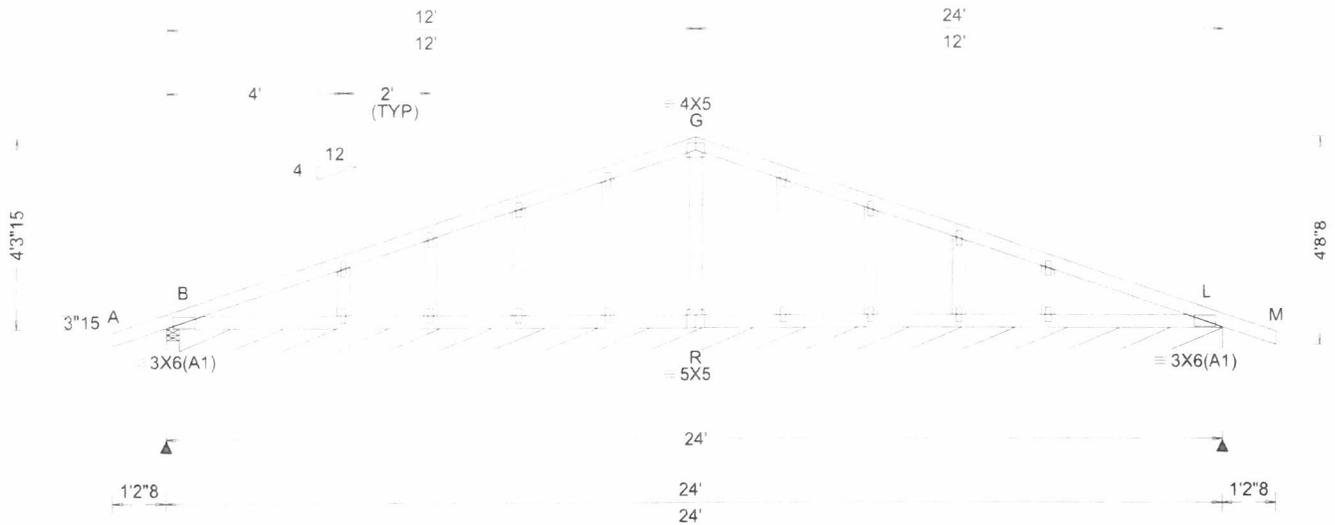
Snow
 Truss designed for unbalanced snow loads



MO COA #20050008.17
 07.24.2025

****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
****IMPORTANT** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with diagonal bracing installed on the CLR per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.
 Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI-1 Sec.2.
 For more information see these web sites: Alpine: alpineitw.com, TPI: tpinst.org, SBCA: sbcacomponents.com, ICC: iccsafe.org, AWC: awc.org





Loading Criteria (psf) TCLL: 30.00 TCCL: 10.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 50.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 24.0 "	Wind Criteria Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCCL: 0.0 psf BCDL: 0.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.33	Snow Criteria (Pg.Pf in PSF) Pg: 30.0 Ct: 1.10 CAT: II Pf: 23.1 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Building Code: IRC 2021 TPI Std: 2014 Rep Fac: Yes FT/RT: 20(0)/10(0) Plate Type(s): WAVE	Defl/CSI Criteria PP Deflection in loc L/defl L/# VERT(LL): 0.004 L 999 240 VERT(CL): 0.006 L 999 180 HORZ(LL): 0.002 B - - HORZ(TL): 0.003 B - - Creep Factor: 2.0 Max TC CSI: 0.110 Max BC CSI: 0.075 Max Web CSI: 0.042 VIEW Ver: 24.02.00B.1106.21	▲ Maximum Reactions (lbs), or * = PLF <table border="1"> <thead> <tr> <th rowspan="2">Loc</th> <th colspan="3">Gravity</th> <th colspan="3">Non-Gravity</th> </tr> <tr> <th>R+</th> <th>/R-</th> <th>/Rh</th> <th>/Rw</th> <th>/U</th> <th>/RL</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>314</td> <td>/-</td> <td>/-</td> <td>/102</td> <td>/79</td> <td>/48</td> </tr> <tr> <td>L*</td> <td>98</td> <td>/-</td> <td>/-</td> <td>/40</td> <td>/27</td> <td>/-</td> </tr> </tbody> </table> Wind reactions based on MWFRS B Brg Wid = 3.5 Min Req = 1.5 (Truss) L Brg Wid = 284 Min Req = - Bearings B & B are a rigid surface. Members not listed have forces less than 375#	Loc	Gravity			Non-Gravity			R+	/R-	/Rh	/Rw	/U	/RL	B	314	/-	/-	/102	/79	/48	L*	98	/-	/-	/40	/27	/-
Loc	Gravity			Non-Gravity																											
	R+	/R-	/Rh	/Rw	/U	/RL																									
B	314	/-	/-	/102	/79	/48																									
L*	98	/-	/-	/40	/27	/-																									

Lumber
 Top chord: 2x4 SP #1;
 Bot chord: 2x4 SP #1;
 Webs: 2x4 SP #1;

Plating Notes
 All plates are 1.5X4 except as noted.

Purlins
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
BC	120	0.15	23.85

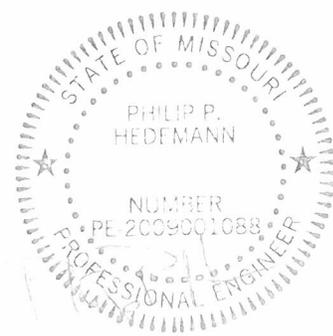
 Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
 Bottom chord checked for 10.00 psf non-concurrent live load.

Wind
 Wind loads based on MWFRS with additional C&C member design.
 Wind loading based on both gable and hip roof types

Snow
 Truss designed for unbalanced snow loads

Additional Notes
 See DWGS A11515ENC160118, GBLLETIN0118 & GABRST160118 for gable wind bracing and other requirements



MO COA #2005000817
 07 24 2025

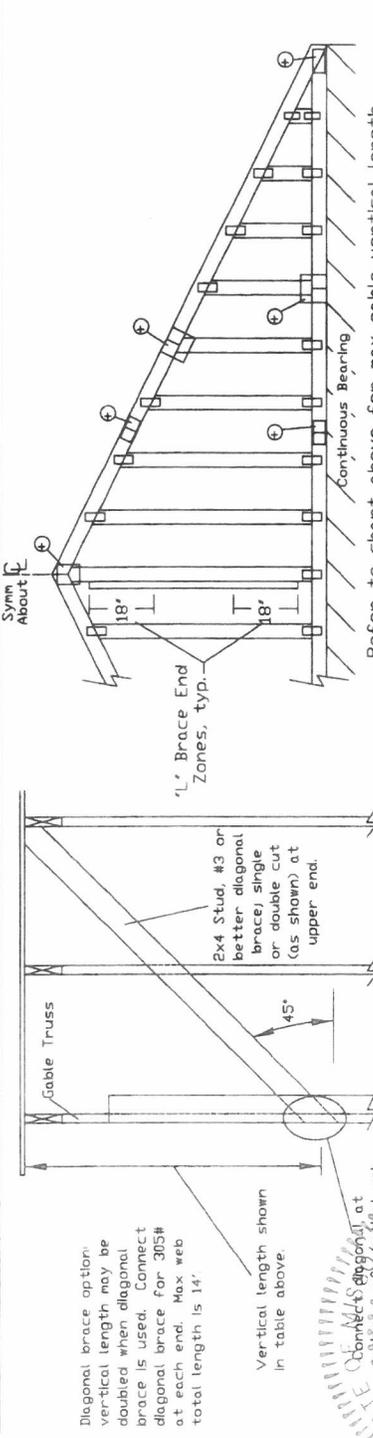
****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
****IMPORTANT** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
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 Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2
 For more information see these web sites: Alpine: alpineitw.com, TPI: tpinst.org, SBCA: sbcacomponents.com, ICC: iccsafe.org, AWC: awc.org



ASCE 7-16: 115 mph Wind Speed, 15' Mean Height, Enclosed, Exposure C, Kzt = 1.00

Gable Stud Reinforcement Detail

Gable Vertical Spacing	2x4 Vertical Species	Brace Grade	No Braces	(1) 1x4 'L' Brace		(2) 2x4 'L' Brace		(1) 2x6 'L' Brace		(2) 2x6 'L' Brace	
				Group A	Group B						
12" o.c.	SPF	#1 / #2	4' 11"	8' 5"	9' 11"	10' 4"	11' 10"	12' 4"	14' 0"	14' 0"	14' 0"
	HF	Standard	4' 8"	8' 1"	9' 10"	10' 3"	11' 9"	12' 2"	14' 0"	14' 0"	14' 0"
16" o.c.	SP	#1	4' 8"	6' 11"	9' 7"	9' 10"	11' 9"	12' 2"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 2"	8' 7"	10' 1"	10' 6"	12' 0"	12' 5"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#2	4' 11"	8' 5"	9' 11"	10' 4"	11' 10"	12' 4"	14' 0"	14' 0"	14' 0"
	DFL	Standard	4' 10"	7' 3"	9' 8"	10' 3"	11' 9"	12' 3"	14' 0"	14' 0"	14' 0"
16" o.c.	SP	#3	4' 10"	7' 3"	9' 8"	10' 3"	11' 9"	12' 3"	14' 0"	14' 0"	14' 0"
	DFL	Standard	4' 8"	6' 5"	8' 7"	9' 2"	11' 7"	12' 2"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#1 / #2	5' 8"	9' 8"	10' 0"	11' 5"	13' 7"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 5"	9' 6"	11' 3"	11' 8"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#1	5' 5"	9' 6"	11' 3"	11' 8"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 5"	9' 6"	11' 3"	11' 8"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#2	5' 11"	9' 9"	10' 2"	11' 6"	13' 8"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 8"	9' 8"	10' 0"	11' 5"	13' 7"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#3	5' 6"	8' 11"	9' 6"	11' 4"	13' 6"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 6"	8' 11"	9' 6"	11' 4"	13' 6"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#1 / #2	6' 3"	10' 7"	11' 0"	12' 7"	13' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 11"	10' 6"	12' 5"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#1	6' 3"	10' 7"	11' 0"	12' 7"	13' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	5' 11"	10' 6"	12' 5"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SP	#2	6' 1"	10' 3"	12' 6"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	Standard	6' 1"	10' 3"	12' 6"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"



Diagonal brace option: Diagonal brace length may be doubled when diagonal brace is used. Connect diagonal brace for 305# at each end. Max web total length is 14'. Vertical length shown in table above.

Connects diagonal at midpoint of vertical web.

Refer to chart above for max gable vertical length.

IMPORTANT: FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to end practices prior to performing these functions. Installers shall provide temporary bracing per BC31. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs are for reference only. Refer to drawings 160A-2 for standard plate positions. Refer to drawings 160A-2 for standard plate positions. Alpha, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation or bracing of trusses. The user of this drawing shall be responsible for obtaining the engineering responsibility solely for the design shown. The availability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see this job's general notes page and these web sites: ALPINE: www.alpineinc.com TPI: www.tphst.org SBCA: www.sbcacomponents.com ICC: www.iccsafe.org

Bracing Group Species and Grades:

Group A:		Group B:	
Spruce-Pine-Fir	Hem-Fir	Southern Pine	Standard
#1 / #2 Standard	#2 Standard	#1	#1
#3 Standard	#3 Standard	#2	#2
Douglas Fir-Larch	Standard	Southern Pine	Standard
#3 Standard	Standard	#1	#1

1x4 Braces shall be SRB (Stress-Rated Board). For 1x4 So. Pine use only Industrial 55 or Industrial 45 Stress-Rated Boards. Group B values may be used with these grades.

Gable Truss Detail Notes:
Wind Load deflection criterion is L/240.
Provide uplift connections for 30 plf over continuous bearing (5 psf TC Dead Load).
Gable end supports load from 4' 0" outlookers with 2' 0" overhang, or 12" plywood overhang.

Attach 'L' braces with 10d (0.128"x3.0" min) nails.

* For (1) 'L' brace, space nails at 2' o.c. in 18' end zones and 4' o.c. between zones.

** For (2) 'L' braces, space nails at 3' o.c. in 18' end zones and 6' o.c. between zones.

'L' bracing must be a minimum of 80% of web member length.

Gable Vertical Plate Sizes

Vertical Length	No Splice
Less than 4' 0"	1X4 or 2X3
Greater than 4' 0", but less than 11' 6"	2X4
Greater than 11' 6"	3X4

+ Refer to common truss design for peak, splice, and heel plates.

Refer to the Building Designer for conditions not addressed by this detail.

REF	ASCE7-16-GABI1515
DATE	01/26/2018
DRWG	A11515ENC160118

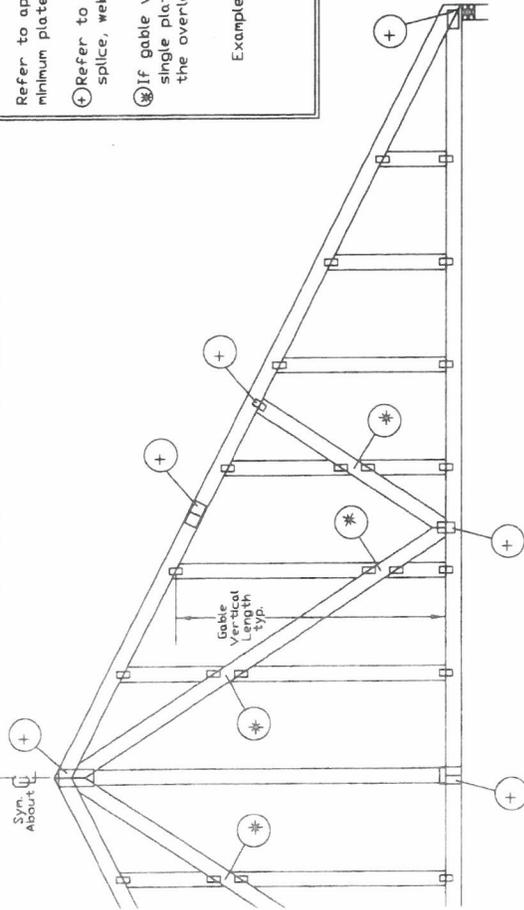
MAX. TOT. LD.	60 PSF
MAX. SPACING	24.0'

PHILIP P. HEJTMANN

ALPINE

MO COA #2005000817

Gable Detail For Let-in Verticals

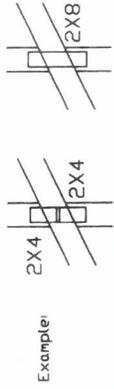


Gable Truss Plate Sizes

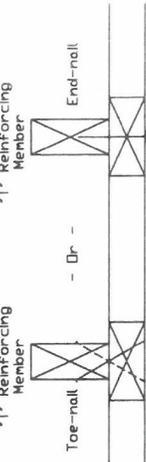
Refer to appropriate Alpine gable detail for minimum plate sizes for vertical studs.

⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.

⊗ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.



'T' Reinforcement Attachment Detail



To convert from 'L' to 'T' reinforcing members, multiply 'T' increase by length (based on appropriate Alpine gable detail).

Maximum allowable 'T' reinforced gable vertical length is 14' from top to bottom chord. 'T' reinforcing member material must match size, specie, and grade of the 'L' reinforcing member.

Web Length Increase w/ 'T' Brace

'T' Reinf. Mbr. Size	'T' Increase %
2x4	30 %
2x6	20 %

Example:

- ASCE 7-10 Wind Speed = 120 mph
- Mean Roof Height = 30 ft, Kzt = 1.00
- Gable Vertical = 24' o.c. SP #3
- 'T' Reinforcing Member Size = 2x4
- 'T' Brace Increase (From Above) = 30% = 1.30
- (1) 2x4 'L' Brace Length = 8' 7"
- Maximum 'T' Reinforced Gable Vertical Length = 1.30 x 8' 7" = 11' 2"

Provide connections for uplift specified on the engineered truss design.

Attach each 'T' reinforcing member with

End Driven Nails:

- 10d Common (0.148" x 3", min) Nails at 4' o.c. plus
- (4) nails in the top and bottom chords.

Toe-nailed Nails:

- 10d Common (0.148" x 3", min) Toe-nails at 4' o.c. plus
- (4) toe-nails in the top and bottom chords.

This detail to be used with the appropriate Alpine gable detail for ASCE wind load.

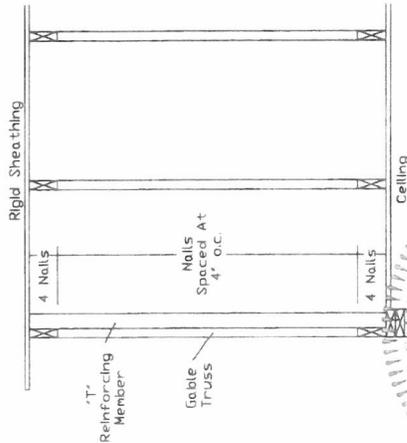
ASCE 7-05 Gable Detail Drawings

- A10015051014, A11015051014, A10015051014, A14015051014, A130030051014, A12030051014, A11030051014, A10030051014

ASCE 7-10 & ASCE 7-16 Gable Detail Drawings

- A11515ENC100118, A12015ENC100118, A14015ENC100118, A16015ENC100118, A18015ENC100118, A20015ENC100118, A20015END100118, A1530ENC100118, A12030ENC100118, A14030ENC100118, A16030ENC100118, A18030ENC100118, A20030ENC100118, A20030END100118, A20030PE100118, S11515ENC100118, S12015ENC100118, S14015ENC100118, S16015ENC100118, S18015ENC100118, S20015ENC100118, S20015END100118, S20015PE100118, S11530ENC100118, S12030ENC100118, S14030ENC100118, S16030ENC100118, S18030ENC100118, S20030ENC100118, S20030END100118, S20030PE100118

See appropriate Alpine gable detail for maximum unreinforced gable vertical length.



REF	LET-IN VERT
DATE	01/02/2018
DRWG	GBLLETIN0118

MAX. TOT. L.D.	60 PSF
DUR. FAC.	ANY
MAX. SPACING	24.0"

IMPORTANT: READ AND FULFILL ALL NOTES ON THIS DRAWING INCLUDING THE INSTALLER'S REQUIREMENTS. FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

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Refer to drawings 160A-7 for standard plate positions.

Alpine, a division of ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installing, or bracing of trusses. Trussing and trussing components are the property of Alpine. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The authority and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.

For more information see this job's general notes page and these web sites:
ALPINE: www.alpineinc.com, TPI: www.tpiinc.org, SBCA: www.sbcacomponents.com, ICD: www.icdf.org

PHILIP P. HEDEMANN
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MISSOURI
ALPINE
 BUILDING COMPONENTS GROUP
 1100 S. W. 10th St., Suite 100
 Oklahoma City, Oklahoma 73106
 Phone: (405) 941-9999
 Fax: (405) 941-9998
 Email: philip@alpineinc.com



August 14, 2025

Dear Property Owner/Resident:

The Board of Adjustment of the City of Glendale will hold a public hearing on **Wednesday, September 3, 2025, at 6:00 p.m.** in the **Glendale Auditorium**, located at **424 N. Sappington Road, Glendale, MO 63122**, to consider the following appeal:

Michael Simon has submitted an appeal requesting approval to construct a new detached one-car garage at his residence located at **47 Berry Wood Drive**. Due to the presence of a Metropolitan St. Louis Sewer District (MSD) easement in the side yard, the proposed garage would be situated closer to the main house than permitted by city code. According to **Section 400.070 of the Glendale Zoning Code**, accessory buildings must be located at least ten (10) feet from the primary structure or any other accessory building.

The Board of Adjustment Ordinance requires that adjoining property owners be notified when plans are to be reviewed by the Board of Adjustment (BOA). The BOA will meet to consider the plans submitted by Mr. Simon at this Board of Adjustment meeting. This meeting is open to the public and you are welcome to attend. If you wish to submit written comments regarding this appeal, please email to permits@glendalemo.org or mail/deliver to City Hall.

A copy of the plans are available for review at Glendale City Hall (open Monday-Friday, 8:00 am to 5:00 pm) or on the city's website at www.glendalemo.org/BOAprojects.

Should you have any questions about this upcoming meeting, please do not hesitate to contact me.

Thank you,

Gabrielle Macaluso
Community Engagement Officer
314-909-3023
gmacaluso@glendalemo.org

The letters notifying property owners of adjoining and adjacent properties were sent to the following addresses.

Name	Address	City, State	Zip
Brian & Corey Reuwee	45 Berry Wood Dr.	Glendale, MO	63122
Carl & Amanda Lothman	49 Berry Wood Dr.	Glendale, MO	63122
ALGONQUIN RIDGE NO 2 TRUSTEES	2180 W STATE ROAD 434 SUITE 5000	LONGWOOD, FL	32779
SCHMIDT JOINT REV LIV TRUST	1063 GLENMOOR AVE	Glendale, MO	63122
ULE MATT ET AL	1054 GLENBROOK AVE	Glendale, MO	63122
Jason & Stephanie Grothe	48 Berry Wood Drive	Glendale, MO	63122
The Joseph A. Fox Revocable Trust	50 Berry Wood Dr.	Glendale, MO	63122
Patrick & Katie Lane	46 Berry Wood Dr.	Glendale, MO	63122
Stuart & Elizabeth Durando	1064 Glenmoor Ave.	Glendale, MO	63122

